



Somewhere  
Austin, TX 78726

**Inspection Date :**  
January 11, 2016

**Report Number :**  
2016010402

**Report Prepared For :**  
Sample Report  
Somewhere  
Austin, TX 78726

**Report Prepared By :**  
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## PROPERTY INSPECTION REPORT

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**Prepared For:** Sample Report  
(Name of Client)

**Concerning:** Somewhere, Austin, TX 78726  
(Address or Other Identification of Inspected Property)

**By:** Scott Leppin, Lic #2825 01/04/2016  
(Name and License Number of Inspector) (Date)

\_\_\_\_\_  
(Name, License Number of Sponsoring Inspector)

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### PURPOSE, LIMITATIONS AND INSPECTOR / CLIENT RESPONSIBILITIES

This property inspection report may include an inspection agreement (contract), addenda, and other information related to property conditions. If any item or comment is unclear, you should ask the inspector to clarify the findings. It is important that you carefully read ALL of this information.

This inspection is subject to the rules ("Rules") of the Texas Real Estate Commission ("TREC"), which can be found at [www.trec.texas.gov](http://www.trec.texas.gov).

The TREC Standards of Practice (Sections 535.227-535.233 of the Rules) are the minimum standards for inspections by TREC-licensed inspectors. An inspection addresses only those components and conditions that are present, visible, and accessible at the time of the inspection. While there may be other parts, components or systems present, only those items specifically noted as being inspected were inspected. The inspector is NOT required to turn on decommissioned equipment, systems, utility services or apply an open flame or light a pilot to operate any appliance. The inspector is NOT required to climb over obstacles, move furnishings or stored items. The inspection report may address issues that are code-based or may refer to a particular code; however, this is NOT a code compliance inspection and does NOT verify compliance with manufacturer's installation instructions. The inspection does NOT imply insurability or warrantability of the structure or its components. Although some safety issues may be addressed in this report, this inspection is NOT a safety/code inspection, and the inspector is NOT required to identify all potential hazards.

In this report, the inspector shall indicate, by checking the appropriate boxes on the form, whether each item was inspected, not inspected, not present or deficient and explain the findings in the corresponding section in the body of the report form. The inspector must check the Deficient (D) box if a condition exists that adversely and materially affects the performance of a system or component or constitutes a hazard to life, limb or property as specified by the TREC Standards of Practice. General deficiencies include inoperability, material distress, water penetration, damage, deterioration, missing components, and unsuitable installation. Comments may be provided by the inspector whether or not an item is deemed deficient. The inspector is not required to prioritize or emphasize the importance of one deficiency over another.

Some items reported may be considered life-safety upgrades to the property. For more information, refer to Texas Real Estate Consumer Notice Concerning Recognized Hazards or Deficiencies below.

THIS PROPERTY INSPECTION IS NOT A TECHNICALLY EXHAUSTIVE INSPECTION OF THE STRUCTURE, SYSTEMS OR COMPONENTS. The inspection may not reveal all deficiencies. A real estate inspection helps to reduce some of the risk involved in purchasing a home, but it cannot eliminate these risks, nor can the inspection anticipate future events or changes in performance due to changes in use or occupancy. It is recommended that you obtain as much information as is available about this property, including any seller's disclosures, previous inspection reports, engineering reports, building/remodeling permits, and reports performed for or by relocation companies, municipal inspection departments, lenders, insurers, and appraisers. You should also attempt to determine whether repairs, renovation, remodeling, additions, or other such activities have taken place at this property. It is not the inspector's responsibility to confirm that information

obtained from these sources is complete or accurate or that this inspection is consistent with the opinions expressed in previous or future reports.

ITEMS IDENTIFIED IN THE REPORT DO NOT OBLIGATE ANY PARTY TO MAKE REPAIRS OR TAKE OTHER ACTIONS, NOR IS THE PURCHASER REQUIRED TO REQUEST THAT THE SELLER TAKE ANY ACTION. When a deficiency is reported, it is the client's responsibility to obtain further evaluations and/or cost estimates from qualified service professionals. Any such follow-up should take place prior to the expiration of any time limitations such as option periods. Evaluations by qualified tradesmen may lead to the discovery of additional deficiencies which may involve additional repair costs. Failure to address deficiencies or comments noted in this report may lead to further damage of the structure or systems and add to the original repair costs. The inspector is not required to provide follow-up services to verify that proper repairs have been made.

Property conditions change with time and use. For example, mechanical devices can fail at any time, plumbing gaskets and seals may crack if the appliance or plumbing fixture is not used often, roof leaks can occur at any time regardless of the apparent condition of the roof, and the performance of the structure and the systems may change due to changes in use or occupancy, effects of weather, etc. These changes or repairs made to the structure after the inspection may render information contained herein obsolete or invalid. This report is provided for the specific benefit of the client named above and is based on observations at the time of the inspection. If you did not hire the inspector yourself, reliance on this report may provide incomplete or outdated information. Repairs, professional opinions or additional inspection reports may affect the meaning of the information in this report. It is recommended that you hire a licensed inspector to perform an inspection to meet your specific needs and to provide you with current information concerning this property.

### **TEXAS REAL ESTATE CONSUMER NOTICE CONCERNING HAZARDS OR DEFICIENCIES**

Each year, Texans sustain property damage and are injured by accidents in the home. While some accidents may not be avoidable, many other accidents, injuries, and deaths may be avoided through the identification and repair of certain hazardous conditions. Examples of such hazards include:

- malfunctioning, improperly installed or missing ground fault circuit protection (GFCI) devices for electrical receptacles in garages, bathroom, kitchens, and exterior areas;
- malfunctioning arc fault protection (AFCI) devices;
- ordinary glass in locations where modern construction techniques call for safety glass;
- malfunctioning or lack of fire safety features such as, smoke alarms, fire-rated doors in certain locations, and functional emergency escape and rescue openings in bedrooms;
- malfunctioning carbon monoxide alarms;
- excessive spacing between balusters on stairways and porches;
- improperly installed appliances;
- improperly installed or defective safety devices;
- lack of electrical bonding and grounding; and
- lack of bonding on gas piping, including corrugated stainless steel tubing (CSST).

To ensure that consumers are informed of hazards such as these, the Texas Real Estate Commission (TREC) has adopted Standards of Practice requiring licensed inspectors to report these conditions as "Deficient" when performing an inspection for a buyer or seller, if they can be reasonably determined.

These conditions may not have violated building codes or common practices at the time of the construction of the home, or they may have been "grandfathered" because they were present prior to the adoption of codes prohibiting such conditions. While the TREC Standards of Practice do not require inspectors to perform a code compliance inspection, TREC considers the potential for injury or property loss from the hazards addressed in the Standards of Practice to be significant enough to warrant this notice.

Contract forms developed by TREC for use by its real estate licensees also inform the buyer of the right to have the home inspected and can provide an option clause permitting the buyer to terminate the contract within a specified time. Neither the Standards of Practice nor the TREC contract forms requires a seller to remedy conditions revealed by an inspection. The decision to correct a hazard or any deficiency identified in an inspection report is left to the parties to the contract for the sale or purchase of the home.

**INFORMATION INCLUDED UNDER "ADDITIONAL INFORMATION PROVIDED BY INSPECTOR", OR PROVIDED AS AN ATTACHMENT WITH THE STANDARD FORM, IS NOT REQUIRED BY THE COMMISSION AND MAY CONTAIN CONTRACTUAL TERMS BETWEEN THE INSPECTOR AND YOU, AS THE CLIENT. THE COMMISSION DOES NOT REGULATE CONTRACTUAL TERMS BETWEEN PARTIES. IF YOU DO NOT UNDERSTAND THE EFFECT OF ANY CONTRACTUAL TERM CONTAINED IN THIS SECTION OR ANY ATTACHMENTS, CONSULT AN ATTORNEY.**

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**ADDITIONAL INFORMATION PROVIDED BY INSPECTOR**

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**IMPORTANT NOTICE:** Prior to reading through your inspection report it is very important that you review the notices below so that you are fully aware of each of the notices prior to completing your negotiations and/or transaction on the property. If you have any questions whatsoever do not hesitate to contact me directly prior to proceeding.

**RESTRICTED USE OF THIS REPORT:** The use of this report is specifically restricted to the Client named within this report and is not transferable or usable by any other parties. This Copyrighted report is not valid without the signed inspection agreement.

**REPORT PHOTOGRAPHS:** Photographs inserted within this report are shown for the sole purpose of providing you a visual perspective on a particular concern. Photographs are selected at my discretion and do not represent the totality of repair needs.

**REPORT DEFICIENCY COMMENTS:** All bulleted comments within the report represent a deficiency. Please note that the deficiency comments listed within this report are not a certification that all deficiencies within a particular system and/or component have been fully diagnosed and/or reported and this inspection report does not provide or guarantee of future performance of any system or component within the house nor that errors of omission with the inspection and/or report do not exist.

**FURTHER EVALUATION BY SPECIALIST:** It is extremely important that you contact appropriate specialist where a system or component is noted to have a Deficiencies listed. Specialist will have the specific knowledge and certifications to perform a much deeper level of evaluation on a given system or component. Naturally you should anticipate that a specialist evaluation may determine additional and possibly significant repair needs exist that would not be observed and/or report in the course of a general real estate inspection. **It is your duty to seek these evaluations prior to completing your negotiations and/or transaction!**

**Acceptance of all conditions, advisories and terms listed above are made by you upon acceptance of and reliance upon this inspection report.**

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**Property Inspection Conditions**

Inspection Time In: **8:00 am**

Time Out: **11:15 am**

Property was: **Occupied**

Weather Conditions During Inspection: **Partly Cloudy**

Outside temperature during inspection: **60's to 70's Degrees**

Parties present at inspection: **Buyer, Buyers Agent**



I=Inspected      NI=Not Inspected      NP=Not Present      D=Deficient			
I	NI	NP	D

## I. STRUCTURAL SYSTEMS

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### A. Foundations

*Type of Foundation(s):* Slab on Ground

*Comments:*

Foundation

**Note:** Foundation corner pops, spalling or cracking at masonry ledge were observed at one or more location. Although unsightly, conditions do not typically compromise the integrity of foundation. These conditions are usually caused by thermo expansion at the foundation / masonry wall junctures.



In my opinion, the foundation appeared to be providing adequate support for this dwelling based on limited visual observations at time of inspection. I did not observe any evidence that would indicate the presence of significant deflections in the foundation or there were no notable functional problems resulting from foundation movement.

**Note:** Very Important. Expansive soils that are common to this region can adversely affect the performance of the foundation and/or may lead to foundation failure. Variation in the moisture content produces a disproportionate degree of swelling and shrinkage of the soil which can result in differential movement. Changes in the moisture content can be caused by any of the following: poor drainage away from the foundation, standing water at one or more points around the foundation, leaking plumbing lines, non-uniform watering of plants and lawns around the structure, excessive vegetation, plants and trees adjacent to the foundation as well as insufficient watering during dry weather conditions. It is important that you maintain proper drainage around the structure in such a way that water runs away from the building and off the site. When the foundation is located on expansive clay soils, watering of the soil \ landscape around the foundation can be an effective way of maintaining moisture stability and preventing volume changes. Proper drainage coupled with watering of the soil \ landscape around the foundation in a systematic and scheduled manner should aid in maintaining constant moisture content.

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I	NI	NP	D

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## B. Grading and Drainage

### Grading & Drainage

**Note:** Care should be taken to maintain the adequate finish grade and/or proper yard drainage that currently exist. The grade away from the foundation should fall a minimum of six inches (6") within the first ten feet (10') to encourage run-off away from the foundation. Improper drainage and/or pooling of water near foundation may adversely impact its performance.

### Gutter & Downspout System

**Note:** Roof guttering was not observed at all elevations. I recommend the installation of complete guttering and downspout system to facilitate drainage from foundation walls and to prevent erosion from roof run-off. Please do not underestimate the importance of guttering. Utilize guttering to prevent negative drainage & in turn minimize foundation movement.

- The gutters are dirty and require cleaning at one or more location.



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## C. Roof Covering Materials

*Type(s) of Roof Covering:* Composition

*Viewed From:* Walked on roof

*Comments:*

### Roof Covering Materials

- Loose shingle(s) were observed at one or more location.



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- The neoprene flashing located at one or more of the roof level plumbing vent stacks has some deterioration and/or damage around the stack. This condition is conducive to moisture penetration. Notice moisture stains on roof deck in attic below.



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#### D. Roof Structures and Attics

*Viewed From:* Decked Space Only

*Approximate Average Depth of Insulation:* 8" to 10"

*Approximate Average Thickness of Vertical Insulation:* 0" to 8"

*Insulation Type:* Loose Filled, Batt or Blanket

*Description of Roof Structure:* Rafter Assembly

*Comments:*

##### Roof Structure & Attic

**Note:** The attic was inspected from floored surfaces or safe footing only. Insulation is not disturbed to find a walkway surface. Several situations limited the observations of the attic space including low clearances, insulation, stored items, mechanical systems, ducts, etc. For safety reasons some attic spaces were not viewed.

- Purlin bracing and/or "T" backer fasteners are not properly installed. Notice voids between the framing & fasteners at one or more attic location.





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- Although no roof deflection was observed, some hip and/or valley rafters were not blocked/braced at ridge board connection points.



- The fascia board material has some deterioration and/or damage. Condition has apparently been caused by rodent activity. Notice dead rodent in attic.



- The fascia board material has some deterioration and/or damage at one or more location. Condition should be self-evident to a qualified carpenter.



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Attic Ladder

- The attic access pull down ladder has damaged tread, which may be hazardous.



Attic Insulation

- Vertical insulation batts are not properly supported by netting and/or insulation batts are missing at one or more attic location leading to un-insulated space between the attic and interior conditioned spaces of home.



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**E. Walls (Interior and Exterior)**

Interior Walls

- Moisture stains & termite damage were observed at the garage wall.



Exterior Walls

- Trim deterioration and/or damage was observed at one or more location. Find example at the right side elevation formal dining room.



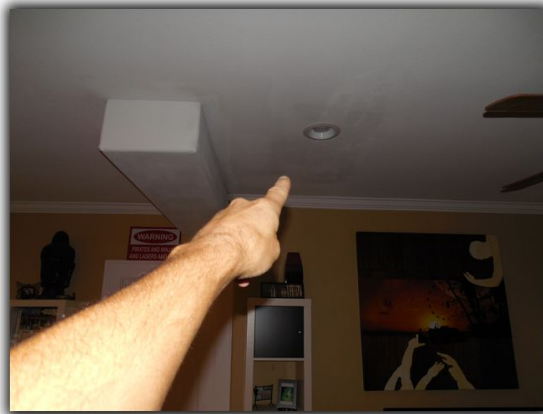
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**F. Ceilings and Floors**

Ceilings

- There is evidence of painting and/or patching to the ceiling located in the living room. The attic area above was not accessible. I recommend consulting with seller for possible disclosure as a preliminary option.



Floors

- Wood flooring is moisture damaged in the kitchen near the dishwasher area. Cause and remedy should be further investigated and corrected as necessary.





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**G. Doors (Interior and Exterior)**

Exterior Doors

- Door lower casing is moisture damaged or decayed, which is conducive to moisture intrusion at the back deck / breakfast dining room entry.



Overhead Garage Door(s)

- For safety reasons, overhead garage door torsion springs or coils need adjusting.
- The single-bay overhead garage door top panel is damaged near operator connection point.



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## H. Windows

### Windows

**Note:** This report makes no determinations or representations regarding the presence of any environmental pathogens that may be related to any moisture conditions identified in this report. Testing for such is beyond the scope of this inspection. Should you choose identification of such substances, services may be provided by other "Qualified Specialist".

- Moisture stains and/or damage observed at one or more window location. Cause and remedy should be investigated and corrected as necessary.



- The security sensor tabs located at the bottom portion of window frames should be sealed to help prevent moisture intrusion into the wall cavity at one or more location. It should also be noted that holes drilled in window frames for security system sensors typically voids window warranty.



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## I. Stairways (Interior and Exterior)

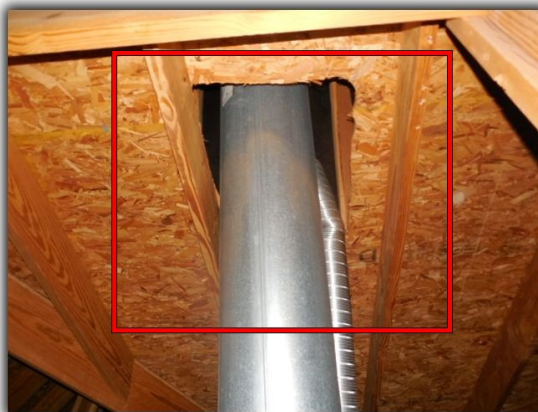
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## J. Fireplaces and Chimneys

### Fireplace / Chimney

- The chimney structure is not properly secured to the roof structure framing. Notice that some if not most of the nails have been driven into the roof deck only.



- Deteriorated and/or damaged trim was observed at chimney structure.

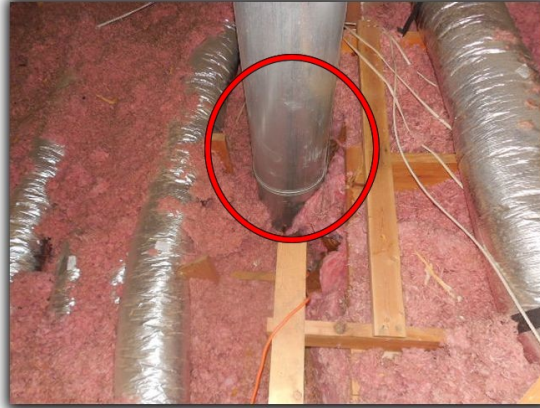


- When artificial gas logs are installed in a firebox with a damper; the damper should be permanently blocked open with a damper clamp to prevent accidental spillage of carbon monoxide into the living space, which can be *hazardous*.



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- The chimney flue pipe is lacking 2” minimum clearance from insulation or other building materials as specified, some of which may be combustible.



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**K. Porches, Balconies, Decks, and Carports**

Porches / Patio / Decks

- Wood deterioration and/or rot were observed at deck structure.



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**L. Other**



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## II. ELECTRICAL SYSTEMS

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### A. Service Entrance and Panels

#### Main Panel

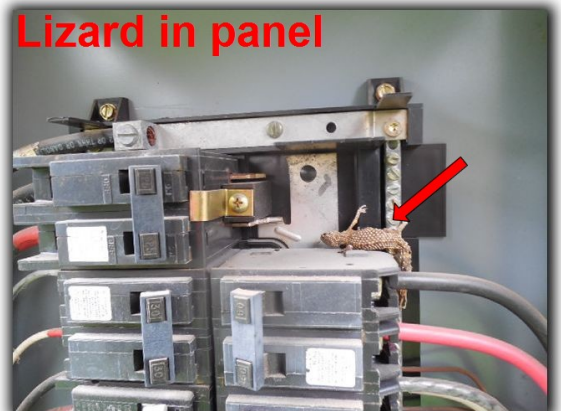
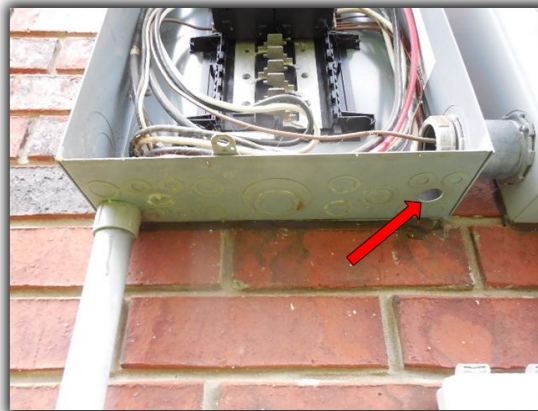
*Box Rating and/or Main Disconnect Rating:* 125 amps

*Box Location:* exterior left wall

*Cabinet Manufacturer:* Square D



- Knock-out missing at panel base. This may allow insects and/or other entry into panel or notice electrocuted lizard found in panel.



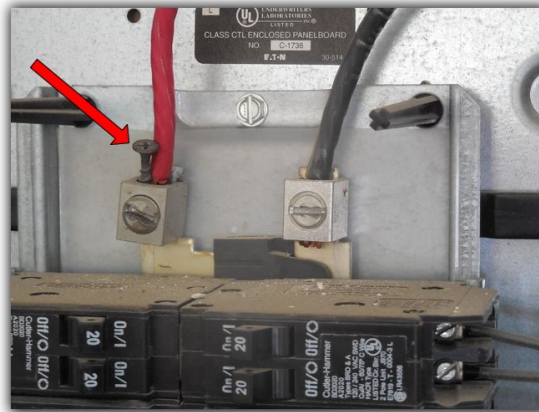
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Sub Panel

*Box Location:* Garage

*Cabinet Manufacturer:* Cutler-Hammer

- Hazardous electrical conductor connection was evident in panel. For whatever reason a dry-wall screw has been placed at conductor lug.



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**B. Branch Circuits, Connected Devices, and Fixtures**

*Type of Wiring:* Copper

*Comments:*

Distribution Wiring

- Electrical extension cords should not be used for permanent wiring. Improper use of extension cords observed at one or more attic location.



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- Junction box not fitted with cover-plate at one or more location attic location, which should be addresses for safety reasons.



#### Light Fixtures

- The light fixture located at exterior front right corner house wall has broken glass lens.



#### Smoke Alarms

- There are not enough smoke alarms located in the home creating a hazardous condition. Under current building standards, there should be a smoke alarm located in each sleeping room, outside each separate sleeping area in the immediate vicinity of the sleeping rooms, and on each additional story of the dwelling.

#### Carbon Monoxide Alarms

- I was unable to locate a carbon monoxide alarm in the immediate vicinity of the bedrooms, which is required by current standards. Installation should be performed for life / safety reasons.

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### III. HEATING, VENTILATION AND AIR CONDITIONING SYSTEMS

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#### A. Heating Equipment

*Type of System(s):* Central / Location Attic

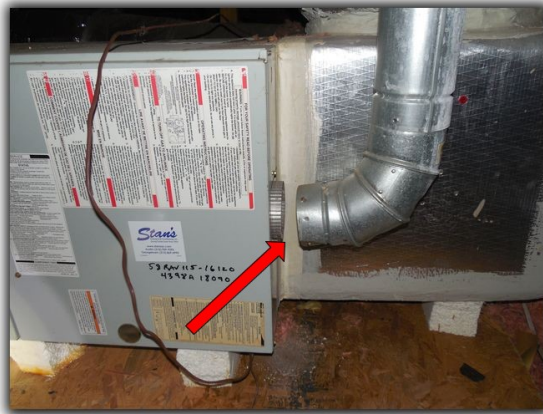
*Energy Source:* Gas

*Comments:*

##### Heating Equipment

**Note:** The following is a list of recognized deficiencies. Additional latent deficiencies may be present. I recommend further evaluation, repairs & service on the system(s) as needed by a licensed HVAC technician.

- The furnace vent pipe is not properly attached to the equipment. This configuration will emit system exhaust and/or Carbon Monoxide into the attic creating a hazardous condition. This issue should be dealt with immediately.



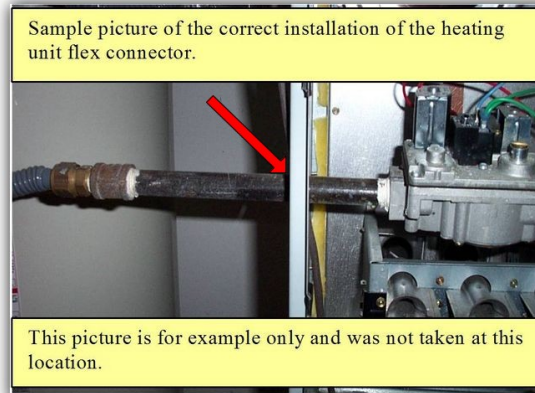
- The heater gas supply line is not equipped with a sediment trap just before the gas appliance connector. This condition does not meet current installation requirements. See correct installation at example picture below.





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- The gas supply flex connector was observed to be passing through the heating unit cabinet. Under current mechanical installation standards, this is no longer an accepted practice. Only rigid black gas pipe is allowed to pass through the heating unit cabinet. See example picture of correct installation below.



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#### B. Cooling Equipment

Type of System(s): Central

Comments:

##### Cooling Equipment

**Note:** Temperature differential (Delta-T Degrees) is a fundamental standard test for the proper function of the cooling system. The normal acceptable range is considered approximately between (16° to 22°) degrees F. total difference between the return air and supply air. Unusual conditions such as excessive humidity, low out-door temperature, restricted air flow may indicate abnormal operation even though the equipment is functioning basically as designed and occasionally may indicate normal operation in spite of an equipment malfunction.

Today's Temperature Differential (Delta-T): 22 Degree

- Improvements to the insulation on the refrigerant and drain line(s) recommended. Insulation helps prevent moisture formation. Notice moisture stains at decked platform.

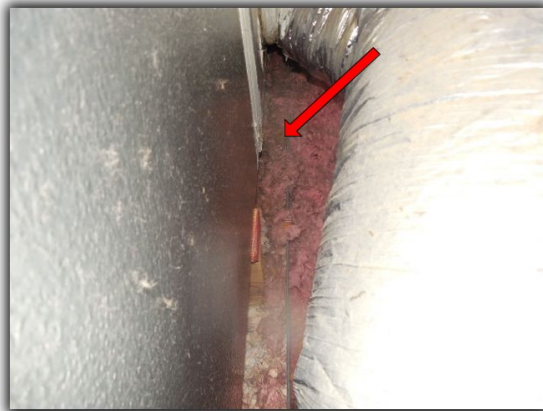


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I	NI	NP	D	I	NI	NP	D	I	NI	NP	D	I	NI	NP	D

- Notice moisture stains on decked platform and/or that a container has been placed on decked platform to catch water and/or unit condensation.



- The insulation in the overflow drain pan located under the coil housing should be removed. The insulation could clog the pan drain line and cause water to leak to the interior of the house.



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**C. Duct Systems, Chases, and Vents**

Duct / Chase / Plenums

- Supply air duct one or more is loose and/or detached from plenum creating conditioned air leak into attic.



- Portion of flex duct located in attic has damaged and/or deteriorated lining. The lining keeps the insulation in place and is also used as a vapor barrier to help prevent condensation issues. Duct replacement recommended.



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#### IV. PLUMBING SYSTEMS

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##### A. Plumbing Supply, Distribution Systems and Fixtures

*Location of water meter:* Front left

*Location of main water supply valve:* Water meter

*Static water pressure reading:* 70 psi

*Comments:*

##### Water Supply System

- The home-owners water supply line cut-off valve handle is located at soil grade in the valve box making it susceptible to deterioration due to moisture exposure from damp soil.



- Moisture was observed exiting the building at the lower left side elevation masonry wall / foundation area. Cause and remedy should be further investigated and corrected as necessary.





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Sinks

- The drain leaks at the right side kitchen sink / disposer connection. See example picture below.



Commodes / Toilets

- The toilet tank leaks at bowl mount in the hall bath. Notice moisture and related rust stains.



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**B. Drains, Wastes, and Vents**

I=Inspected      NI=Not Inspected      NP=Not Present      D=Deficient			
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**C. Water Heating Equipment**

*Energy Source:* Gas

*Capacity:* 40 Gallons    *Location:* **Attic**    *Water Temperature:* 135 Degrees

*Comments:*

Water Heater

- The temperature setting is too high or water temperature is above 120°, which increases the potential for scalding especially with infants and/or children. This condition is a “Recognized Safety Hazard”.
- The water supply connection at the top of the water heater is rusting & leaks.



- The vent pipe is not properly mounted at the top of the water heater. This configuration will emit Carbon Monoxide into the heater compartment, which is a known safety hazard.



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I	NI	NP	D	I	NI	NP	D	I	NI	NP	D	I	NI	NP	D

- There was a gas leak detected at or around the gas flex connector, which creates a safety hazard.



☐ ☒ ☒ ☐ **D. Hydro-Massage Therapy Equipment**

☒ ☐ ☐ ☐ **E. Gas Distribution Systems**

☐ ☒ ☒ ☐ **F. Other**

I=Inspected	NI=Not Inspected	NP=Not Present	D=Deficient
I	NI	NP	D

## V. APPLIANCES

☒ ☐ ☐ ☒

### A. Dishwashers

#### Dishwasher

- The dishwasher drain hose is not properly installed to prevent back flow or anti-siphoning. It is recommended that an air gap device or high drain loop be installed in the drain line.



☒ ☐ ☐ ☒

### B. Food Waste Disposers

#### Food Waster Disposers

- The electrical wiring to the food waste disposer is not properly secured to the disposer housing.



☒ ☐ ☐ ☐

### C. Range Hood and Exhaust Systems

☒ ☐ ☐ ☐

### D. Ranges, Cooktops, and Ovens



I=Inspected				NI=Not Inspected				NP=Not Present				D=Deficient			
I	NI	NP	D	I	NI	NP	D	I	NI	NP	D	I	NI	NP	D

☒ ☐ ☐ ☐

**E. Microwave Ovens**

☒ ☐ ☐ ☐

**F. Mechanical Exhaust Vents and Bathroom Heaters**

☒ ☐ ☐ ☒

**G. Garage Door Operators**

Overhead Garage Door Opener(s)

- The single-bay garage door opener chain is loose and needs to be better secured and/or adjusted.



☒ ☐ ☐ ☒

**H. Dryer Exhaust Systems**

Dryer Exhaust System

- The dryer duct termination is not properly sealed on the attic side of the roof structure penetration and is allowing dryer lint to fall back into the attic area. The dryer vent pipe may also be dirty.



☐ ☒ ☒ ☐

**I. Other**

I=Inspected      NI=Not Inspected      NP=Not Present      D=Deficient			
I	NI	NP	D

## VI. OPTIONAL SYSTEMS

☒
☐
☐
☒

### A. Landscape Irrigation (Sprinkler) Systems

#### Sprinkler System and Associated Components

**Note:** When the system is operational, all of the sprinkler system associated components are inspected and operated in the manual settings only. Some municipalities now require moisture (rain/freeze) sensors to be installed on all new installation and existing sprinkler systems. Our company does not maintain a list of municipalities that require the installation of these sensors nor does it verify the operation of such. It should also be noted that drip irrigation lines located at and/or below grade were not evaluated. The sprinkler system control panel is located in garage. The back-flow prevention valve is located in yard near the front right lot.



- One or more sprinkler head needs adjustment or over-spray onto building observed, which may promote undesirable “wet wall” conditions.



## REPORT SUMMARY

The Report Summary is intended to follow the flow of the main body of the Property Inspection Report and **IS NOT** a suggested priority repair list. The order of repair priority is left up to the sole discretion of the client and your Inspector will not be able to assist you specifying order of importance. Further, this summary contains only those items identified as "Deficient". There may be other items listed in the full body of the Property Inspection Report that could be important to you and you may consider adding to your repair request if and when applicable.

**YOU SHOULD READ AND UNDERSTAND THE ENTIRE PROPERTY INSPECTION REPORT PRIOR TO COMPLETING ANY REPAIR REQUEST.** This report contains technical information, if you do not understand or are unclear about some of the information contained in the body of this report; please call the office to arrange for a verbal consultation with your inspector prior to the expiration of any time limitations such as option or warranty periods.

### GRADING AND DRAINAGE

- The gutters are dirty and require cleaning at one or more location.

### ROOF COVERING MATERIALS

- Loose shingle(s) were observed at one or more location.
- The neoprene flashing located at one or more of the roof level plumbing vent stacks has some deterioration and/or damage around the stack. This condition is conducive to moisture penetration. Notice moisture stains on roof deck in attic below.

### ROOF STRUCTURES AND ATTICS

- Purlin bracing and/or "T" backer fasteners are not properly installed. Notice voids between the framing & fasteners at one or more attic location.
- Although no roof deflection was observed, some hip and/or valley rafters were not blocked/braced at ridge board connection points.
- The fascia board material has some deterioration and/or damage. Condition has apparently been caused by rodent activity. Notice dead rodent in attic.
- The fascia board material has some deterioration and/or damage at one or more location. Condition should be self-evident to a qualified carpenter.
- The attic access pull down ladder has damaged tread, which may be hazardous.
- Vertical insulation batts are not properly supported by netting and/or insulation batts are missing at one or more attic location leading to un-insulated space between the attic and interior conditioned spaces of home.

### WALLS (INTERIOR AND EXTERIOR)

- Moisture stains & termite damage were observed at the garage wall.
- Trim deterioration and/or damage was observed at one or more location. Find example at the right side elevation formal dining room.

### CEILINGS AND FLOORS

- There is evidence of painting and/or patching to the ceiling located in the living room. The attic area above was not accessible. I recommend consulting with seller for possible disclosure as a preliminary option.

- Wood flooring is moisture damaged in the kitchen near the dishwasher area. Cause and remedy should be further investigated and corrected as necessary.

#### DOORS (INTERIOR AND EXTERIOR)

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- Door lower casing is moisture damaged or decayed, which is conducive to moisture intrusion at the back deck / breakfast dining room entry.
- For safety reasons, overhead garage door torsion springs or coils need adjusting.
- The single-bay overhead garage door top panel is damaged near operator connection point.

#### WINDOWS

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- Moisture stains and/or damage observed at one or more window location. Cause and remedy should be investigated and corrected as necessary.
- The security sensor tabs located at the bottom portion of window frames should be sealed to help prevent moisture intrusion into the wall cavity at one or more location. It should also be noted that holes drilled in window frames for security system sensors typically voids window warranty.

#### FIREPLACES AND CHIMNEYS

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- The chimney structure is not properly secured to the roof structure framing. Notice that some if not most of the nails have been driven into the roof deck only.
- Deteriorated and/or damaged trim was observed at chimney structure.
- When artificial gas logs are installed in a firebox with a damper; the damper should be permanently blocked open with a damper clamp to prevent accidental spillage of carbon monoxide into the living space, which can be hazardous.
- The chimney flue pipe is lacking 2" minimum clearance from insulation or other building materials as specified, some of which may be combustible.

#### PORCHES, BALCONIES, DECKS, AND CARPORTS

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- Wood deterioration and/or rot were observed at deck structure.

#### SERVICE ENTRANCE AND PANELS

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- Knock-out missing at panel base. This may allow insects and/or other entry into panel or notice electrocuted lizard found in panel.
- Hazardous electrical conductor connection was evident in panel. For whatever reason a dry-wall screw has been placed at conductor lug.

#### BRANCH CIRCUITS, CONNECTED DEVICES, AND FIXTURES

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- Electrical extension cords should not be used for permanent wiring. Improper use of extension cords observed at one or more attic location.
- Junction box not fitted with cover-plate at one or more location attic location, which should be addressed for safety reasons.
- The light fixture located at exterior front right corner house wall has broken glass lens.
- There are not enough smoke alarms located in the home creating a hazardous condition. Under current building standards, there should be a smoke alarm located in each sleeping room, outside each separate sleeping area in the immediate vicinity of the sleeping rooms, and on each additional story of the dwelling.



- I was unable to locate a carbon monoxide alarm in the immediate vicinity of the bedrooms, which is required by current standards.

## HEATING EQUIPMENT

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- The furnace vent pipe is not properly attached to the equipment. This configuration will emit system exhaust and/or Carbon Monoxide into the attic creating a hazardous condition. This issue should be dealt with immediately.
- The heater gas supply line is not equipped with a sediment trap just before the gas appliance connector. This condition does not meet current installation requirements.
- The gas supply flex connector was observed to be passing through the heating unit cabinet. Under current mechanical installation standards, this is no longer an accepted practice. Only rigid black gas pipe is allowed to pass through the heating unit cabinet.

## COOLING EQUIPMENT

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- Improvements to the insulation on the refrigerant and drain line(s) recommended. Insulation helps prevent moisture formation. Notice moisture stains at decked platform.
- Notice moisture stains on decked platform and/or that a container has been placed on decked platform to catch water and/or unit condensation.
- The insulation in the overflow drain pan located under the coil housing should be removed. The insulation could clog the pan drain line and cause water to leak to the interior of the house.

## DUCT SYSTEMS, CHASES, AND VENTS

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- Supply air duct one or more is loose and/or detached from plenum creating conditioned air leak into attic.
- Portion of flex duct located in attic has damaged and/or deteriorated lining. The lining keeps the insulation in place and is also used as a vapor barrier to help prevent condensation issues. Duct replacement recommended.

## PLUMBING SUPPLY, DISTRIBUTION SYSTEMS AND FIXTURES

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- The home-owners water supply line cut-off valve handle is located at soil grade in the valve box making it susceptible to deterioration due to moisture exposure from damp soil.
- Moisture was observed exiting the building at the lower left side elevation masonry wall / foundation area. Cause and remedy should be further investigated and corrected as necessary.
- The drain leaks at the right side kitchen sink / disposer connection. See example picture below.
- The toilet tank leaks at bowl mount in the hall bath. Notice moisture and related rust stains.

## WATER HEATING EQUIPMENT

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- The temperature setting is too high or water temperature is above 120°, which increases the potential for scalding especially with infants and/or children. This condition is a “Recognized Safety Hazard”.
- The water supply connection at the top of the water heater is rusting & leaks.
- The vent pipe is not properly mounted at the top of the water heater. This configuration will emit Carbon Monoxide into the heater compartment, which is a known safety hazard.
- There was a gas leak detected at or around the gas flex connector, which creates a safety hazard.

## DISHWASHERS

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- The dishwasher drain hose is not properly installed to prevent back flow or anti-siphoning. It is recommended that an air gap device or high drain loop be installed in the drain line.

## FOOD WASTE DISPOSERS

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- The electrical wiring to the food waste disposer is not properly secured to the disposer housing.

## GARAGE DOOR OPERATORS

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- The single-bay garage door opener chain is loose and needs to be better secured and/or adjusted.

## DRYER EXHAUST SYSTEMS

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- The dryer duct termination is not properly sealed on the attic side of the roof structure penetration and is allowing dryer lint to fall back into the attic area. The dryer vent pipe may also be dirty.

## LANDSCAPE IRRIGATION (SPRINKLER) SYSTEMS

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- One or more sprinkler head needs adjustment or over-spray onto building observed, which may promote undesirable “wet wall” conditions.

**TEXAS OFFICIAL WOOD DESTROYING INSECT REPORT**

**Page 1 of 4**

Somewhere

Inspected Address

Austin

City

78726

Zip Code

**SCOPE OF INSPECTION**

- A. This inspection covers only the multi-family structure, primary dwelling or place of business. Sheds, detached garages, lean-tos, fences, guest houses or any other structure will not be included in this inspection report unless specifically noted in Section 5 of this report.
- B. This inspection is limited to those parts of the structure(s) that are visible and accessible at the time of the inspection. Examples of inaccessible areas include but are not limited to (1) areas concealed by wall coverings, furniture, equipment and stored articles and (2) any portion of the structure in which inspection would necessitate removing or defacing any part of the structure(s) (including the surface appearance of the structure). **Inspection does not cover any condition or damage which was not visible in or on the structure(s) at time of inspection but which may be revealed in the course of repair or replacement work.**
- C. Due to the characteristics and behavior of various wood destroying insects, it may not always be possible to determine the presence of infestation without defacing or removing parts of the structure being inspected. Previous damage to trim, wall surface, etc., is frequently repaired prior to the inspection with putty, spackling, tape or other decorative devices. Damage that has been concealed or repaired may not be visible except by defacing the surface appearance. **The WDI inspecting company cannot guarantee or determine that work performed by a previous pest control company, as indicated by visual evidence of previous treatment, has rendered the pest(s) inactive.**
- D. If visible evidence of active or previous infestation of listed wood destroying insects is reported, it should be assumed that some degree of damage is present.
- E. If visible evidence is reported, it does not imply that damage should be repaired or replaced. Inspectors of the inspection company usually are not engineers or builders qualified to give an opinion regarding the degree of structural damage. Evaluation of damage and any corrective action should be performed by a qualified expert.
- F. **THIS IS NOT A STRUCTURAL DAMAGE REPORT OR A WARRANTY AS TO THE ABSENCE OF WOOD DESTROYING INSECTS.**
- G. If termite treatment (including pesticides, baits or other methods) has been recommended, the treating company must provide a diagram of the structure(s) inspected and proposed for treatment, label of pesticides to be used and complete details of warranty (if any). At a minimum, the warranty must specify which areas of the structure(s) are covered by warranty, renewal options and approval by a certified applicator in the termite category. Information regarding treatment and any warranties should be provided by the party contracting for such services to any prospective buyers of the property. The inspecting company has no duty to provide such information to any person other than the contracting party.
- H. There are a variety of termite control options offered by pest control companies. These options will vary in cost, efficacy, areas treated, warranties, treatment techniques and renewal options.
- I. There are some specific guidelines as to when it is appropriate for corrective treatment to be recommended. Corrective treatment may only be recommended if (1) there is visible evidence of an active infestation in or on the structure, (2) there is visible evidence of a previous infestation with no evidence of a prior treatment.
- J. If treatment is recommended based solely on the presence of conducive conditions, a preventive treatment or correction of conducive conditions may be recommended. The buyer and seller should be aware that there may be a variety of different strategies to correct the conducive condition(s). These corrective measures can vary greatly in cost and effectiveness and may or may not require the services of a licensed pest control operator. There may be instances where the inspector will recommend correction of the conducive conditions by either mechanical alteration or cultural changes. Mechanical alteration may be in some instances the most economical method to correct conducive conditions. If this inspection report recommends any type of treatment and you have any questions about this, you may contact the inspector involved, another licensed pest control operator for a second opinion, and/or the Structural Pest Control Service of the Texas Department of Agriculture.

1A. Scott Leppin Real Estate Inspections Inc.  
Name of Inspection Company

1B. 9437 TDA 0568990  
SPCS Business License Number

1C. 12411 Painted Bunting Dr.  
Address of Inspection Company

Austin  
City

TX  
State

78726  
Zip

(512) 335-0609  
Telephone No.

1D. Scott Leppin  
Name of Inspector (Please Print)

1E. Certified Applicator ☒ (check one )  
Technician ☐

2. N/A  
Case Number (VA/FHA/Other)

3. Monday, January 4, 2016  
Inspection Date

4A. Sample Report Seller ☐ Agent ☐ Buyer ☒ Management Co. ☐ Other ☐  
Name of Person Purchasing Inspection

4B. N/A  
Owner/Seller

4C. REPORT FORWARDED TO: Title Company or Mortgagee ☐ Purchaser of Service ☐ Seller ☐ Agent ☒ Buyer ☒  
(Under the Structural Pest Control regulations only the purchaser of the service is required to receive a copy)

The structure(s) listed below were inspected in accordance with the official inspection procedures adopted by the Texas Structural Pest Control Service. This report is made subject to the conditions listed under the Scope of Inspection. A diagram must be attached including all structures inspected.

**5. Main Residence only**

List structure(s) inspected that may include residence, detached garages and other structures on the property. (Refer to Part A, Scope of Inspection)

6A. Were any areas of the property obstructed or inaccessible? Yes ☒ No ☐  
(Refer to Part B & C, Scope of Inspection) If "Yes" specify in 6B.

6B. The obstructed or inaccessible areas include but are not limited to the following:

Attic <input checked="" type="checkbox"/>	Insulated area of attic <input checked="" type="checkbox"/>	Plumbing Areas <input checked="" type="checkbox"/>	Planter box abutting structure <input type="checkbox"/>
Deck <input checked="" type="checkbox"/>	Sub Floors <input type="checkbox"/>	Slab Joints <input checked="" type="checkbox"/>	Crawl Space <input type="checkbox"/>
Soil Grade Too High <input type="checkbox"/>	Heavy Foliage <input type="checkbox"/>	Eaves <input checked="" type="checkbox"/>	Weepholes <input type="checkbox"/>
Other <input checked="" type="checkbox"/>	Specify: <u>Foundation corner pops - Loose underpinning - In addition to areas indicated at the checkboxes above, also refer to the diagram for additional areas that may be listed as obstructed, inaccessible and/or concealed conditions.</u>		

7A. Conditions conducive to wood destroying insect infestation? Yes ☒ No ☐  
(Refer to Part J, Scope of Inspection) If "Yes" specify in 7B.

7B. Conducive Conditions include but are not limited to:

Debris under or around structure (K) <input type="checkbox"/>	Wood to Ground Contact (G) <input checked="" type="checkbox"/>	Formboards left in place (I) <input type="checkbox"/>	Excessive Moisture (J) <input checked="" type="checkbox"/>
Planter box abutting structure (O) <input type="checkbox"/>	Footings too low or soil line too high (L) <input checked="" type="checkbox"/>	Wood Rot (M) <input checked="" type="checkbox"/>	Heavy Foliage (N) <input checked="" type="checkbox"/>
Insufficient ventilation (T) <input type="checkbox"/>	Wood Pile in Contact with Structure (Q) <input type="checkbox"/>	Wooden Fence in Contact with the Structure (R) <input type="checkbox"/>	
Other (C) <input checked="" type="checkbox"/>	Specify: <u>See Diagram Legend page 3 of 4</u>		

8. Inspection Reveals Visible Evidence in or on the structure:

	Active Infestation		Previous Infestation		Previous Treatment	
8A. Subterranean Termites	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>
8B. Drywood Termites	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>
8C. Formosan Termites	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>
8D. Carpenter Ants	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>
8E. Other Wood Destroying Insects	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>

Specify: \_\_\_\_\_

8F. Explanation of signs of previous treatment (including pesticides, baits, existing treatment stickers or other methods) identified: None

8G. Visible evidence of: Active Sub.termites has been observed in the following areas: Garage wall

If there is visible evidence of active or previous infestation, it must be noted. The type of insect(s) must be listed on the first blank and all identified infested areas of the property inspected must be noted in the second blank. (Refer to Part D, E & F, Scope of Inspection)

The conditions conducive to insect infestation reported in 7A & 7B:

9. Will be or has been mechanically corrected by inspecting company: Yes ☐ No ☒

If "Yes", specify corrections: \_\_\_\_\_

9A. Corrective treatment recommended for active infestation or evidence of previous infestation with no prior treatment

as identified in Section 8. (Refer to Part G, H and I, Scope of Inspection)

Yes ☒ No ☐

9B. A preventive treatment and/or correction of conducive conditions as identified in 7A & 7B is recommended as follows:

Yes ☒ No ☐

Specify reason: Mechanically correct ( remove, trim back etc.) each listed conducive condition illustrated on diagram. Preventative treatment is needed for all areas listed as inaccessible or areas that are not mechanically corrected or correctable. Contact a licensed pest control operator for specific guidance and options on treatments available PRIOR TO CLOSING.

Refer to Scope of Inspection Part J

10A. This company has treated or is treating the structure for the following wood destroying insects: NO

If treating for subterranean termites, the treatment was: Partial ☐ Spot ☐ Bait ☐ Other ☐

If treating for drywood termites or related insets, the treatment was: Full ☐ Limited ☐

10B. \_\_\_\_\_

Date of Treatment by Inspecting Company

Common Name of Insect

Name of Pesticide, Bait or Other Method

This company has a contract or warranty in effect for control of the following wood destroying insects:

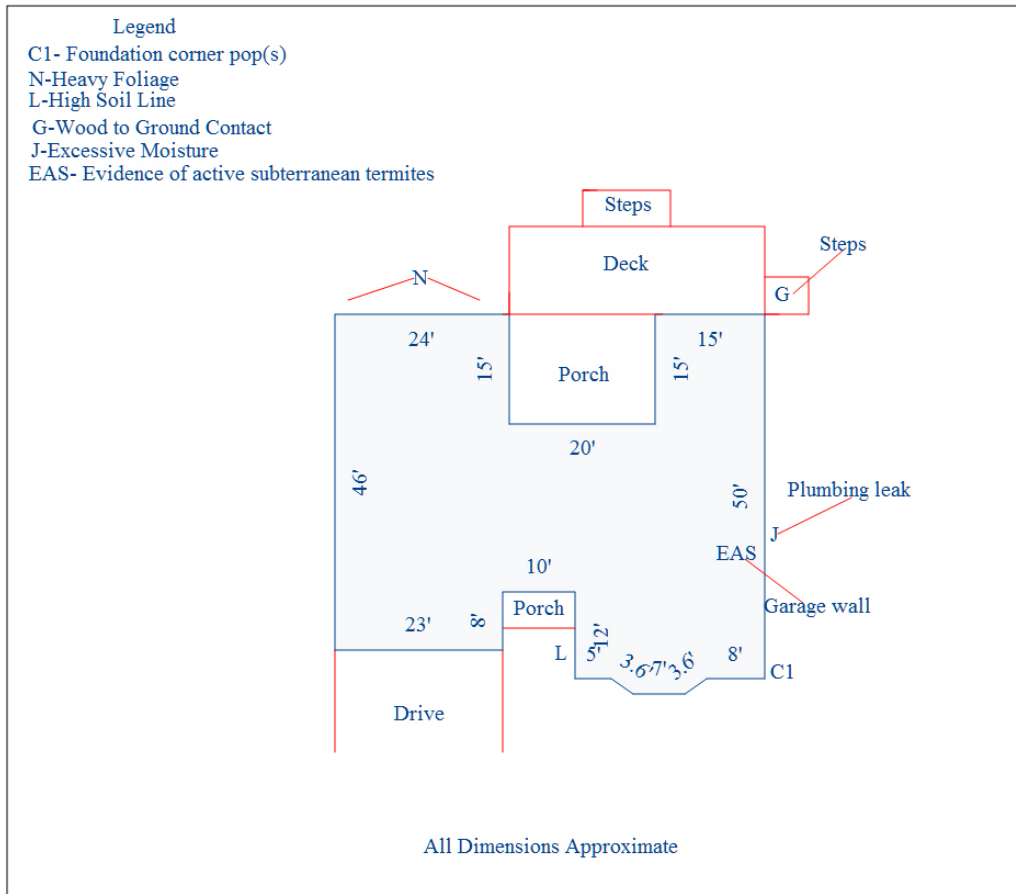
Yes ☐ No ☐ List Insects: \_\_\_\_\_

If "Yes", copy(ies) of warranty and treatment diagram must be attached.



**Diagram of Structure(s) Inspected**

The inspector must draw a diagram including approximate perimeter measurements and indicate active or previous infestation and type of insect by using the following codes: E- Evidence of infestation; A-Active; P-Previous; D-Drywood Termites; S-Subterranean Termites; F-Formosan Termites; C-Conducive Conditions; B-Wood Boring Beetles; H-Carpenter Ants; Other(s) - Specify \_\_\_\_\_



Sketch by Apex Sketch

Additional Comments I am advising you to contact a licensed pest control Applicator prior to closing to secure an estimate for corrective and/or preventitive repair needs listed within this WDI report.

# TEXAS OFFICIAL WOOD DESTROYING INSECT REPORT

Page 4 of 4

Neither I nor the company for which I am acting have had, presently have, or contemplate having any interest in the property. I do further state that neither I nor the company which I am acting is associated in any way with any party to the transaction.

Signatures:

11A. Scott Leppin - Digitally Signed  
Inspector

Approved:

11B. Scott Leppin 0560547  
Certified Applicator and Certified Applicator License Number

Notice of Inspection Was Posted At or Near

12A. Electric Breaker Box ☐  
Water Heater Closet ☐  
Bath Trap Access ☐  
Beneath the Kitchen Sink ☒

12B. Date Posted 01/11/2016  
Date

## Statement of Purchaser

I have received the original or a legible copy of this form. I have read and understand any recommendations made. I have also read and understand the "Scope of Inspection." I understand that my inspector may provide additional information as an addendum to this report.

If additional information is attached, list number of pages: \_\_\_\_\_

Signature of Purchaser of Property or their Designee

Date