



Inspection Date :
January 12, 2020

Report Number :
2019121301

Report Prepared For :
New Final or 1 Year Inspection
Not Disclosed
Austin, TX 78727

Report Prepared By :
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PROPERTY INSPECTION REPORT

Prepared For: New Final or 1 Year Inspection
(Name of Client)

Concerning: Not Disclosed, Austin, TX 78727
(Address or Other Identification of Inspected Property)

By: Scott Leppin, Lic # 2825 12/13/2019
(Name and License Number of Inspector) (Date)

(Name, License Number of Sponsoring Inspector)

PURPOSE, LIMITATIONS AND INSPECTOR / CLIENT RESPONSIBILITIES

This property inspection report may include an inspection agreement (contract), addenda, and other information related to property conditions. If any item or comment is unclear, you should ask the inspector to clarify the findings. It is important that you carefully read ALL of this information.

This inspection is subject to the rules ("Rules") of the Texas Real Estate Commission ("TREC"), which can be found at www.trec.texas.gov.

The TREC Standards of Practice (Sections 535.227-535.233 of the Rules) are the minimum standards for inspections by TREC-licensed inspectors. An inspection addresses only those components and conditions that are present, visible, and accessible at the time of the inspection. While there may be other parts, components or systems present, only those items specifically noted as being inspected were inspected. The inspector is NOT required to turn on decommissioned equipment, systems, utility services or apply an open flame or light a pilot to operate any appliance. The inspector is NOT required to climb over obstacles, move furnishings or stored items. The inspection report may address issues that are code-based or may refer to a particular code; however, this is NOT a code compliance inspection and does NOT verify compliance with manufacturer's installation instructions. The inspection does NOT imply insurability or warrantability of the structure or its components. Although some safety issues may be addressed in this report, this inspection is NOT a safety/code inspection, and the inspector is NOT required to identify all potential hazards.

In this report, the inspector shall indicate, by checking the appropriate boxes on the form, whether each item was inspected, not inspected, not present or deficient and explain the findings in the corresponding section in the body of the report form. The inspector must check the Deficient (D) box if a condition exists that adversely and materially affects the performance of a system or component or constitutes a hazard to life, limb or property as specified by the TREC Standards of Practice. General deficiencies include inoperability, material distress, water penetration, damage, deterioration, missing components, and unsuitable installation. Comments may be provided by the inspector whether or not an item is deemed deficient. The inspector is not required to prioritize or emphasize the importance of one deficiency over another.

Some items reported may be considered life-safety upgrades to the property. For more information, refer to Texas Real Estate Consumer Notice Concerning Recognized Hazards or Deficiencies below.

THIS PROPERTY INSPECTION IS NOT A TECHNICALLY EXHAUSTIVE INSPECTION OF THE STRUCTURE, SYSTEMS OR COMPONENTS. The inspection may not reveal all deficiencies. A real estate inspection helps to reduce some of the risk involved in purchasing a home, but it cannot eliminate these risks, nor can the inspection anticipate future events or changes in performance due to changes in use or occupancy. It is recommended that you obtain as much information as is available about this property, including any seller's disclosures, previous inspection reports, engineering reports, building/remodeling permits, and reports performed for or by relocation companies, municipal inspection departments, lenders, insurers, and appraisers. You should also attempt to determine whether repairs, renovation, remodeling, additions, or other such activities have taken place at this property. It is not the inspector's responsibility to confirm that information

obtained from these sources is complete or accurate or that this inspection is consistent with the opinions expressed in previous or future reports.

ITEMS IDENTIFIED IN THE REPORT DO NOT OBLIGATE ANY PARTY TO MAKE REPAIRS OR TAKE OTHER ACTIONS, NOR IS THE PURCHASER REQUIRED TO REQUEST THAT THE SELLER TAKE ANY ACTION. When a deficiency is reported, it is the client's responsibility to obtain further evaluations and/or cost estimates from qualified service professionals. Any such follow-up should take place prior to the expiration of any time limitations such as option periods. Evaluations by qualified tradesmen may lead to the discovery of additional deficiencies which may involve additional repair costs. Failure to address deficiencies or comments noted in this report may lead to further damage of the structure or systems and add to the original repair costs. The inspector is not required to provide follow-up services to verify that proper repairs have been made.

Property conditions change with time and use. For example, mechanical devices can fail at any time, plumbing gaskets and seals may crack if the appliance or plumbing fixture is not used often, roof leaks can occur at any time regardless of the apparent condition of the roof, and the performance of the structure and the systems may change due to changes in use or occupancy, effects of weather, etc. These changes or repairs made to the structure after the inspection may render information contained herein obsolete or invalid. This report is provided for the specific benefit of the client named above and is based on observations at the time of the inspection. If you did not hire the inspector yourself, reliance on this report may provide incomplete or outdated information. Repairs, professional opinions or additional inspection reports may affect the meaning of the information in this report. It is recommended that you hire a licensed inspector to perform an inspection to meet your specific needs and to provide you with current information concerning this property.

TEXAS REAL ESTATE CONSUMER NOTICE CONCERNING HAZARDS OR DEFICIENCIES

Each year, Texans sustain property damage and are injured by accidents in the home. While some accidents may not be avoidable, many other accidents, injuries, and deaths may be avoided through the identification and repair of certain hazardous conditions. Examples of such hazards include:

- malfunctioning, improperly installed or missing ground fault circuit protection (GFCI) devices for electrical receptacles in garages, bathroom, kitchens, and exterior areas;
- malfunctioning arc fault protection (AFCI) devices;
- ordinary glass in locations where modern construction techniques call for safety glass;
- malfunctioning or lack of fire safety features such as, smoke alarms, fire-rated doors in certain locations, and functional emergency escape and rescue openings in bedrooms;
- malfunctioning carbon monoxide alarms;
- excessive spacing between balusters on stairways and porches;
- improperly installed appliances;
- improperly installed or defective safety devices;
- lack of electrical bonding and grounding; and
- lack of bonding on gas piping, including corrugated stainless steel tubing (CSST).

To ensure that consumers are informed of hazards such as these, the Texas Real Estate Commission (TREC) has adopted Standards of Practice requiring licensed inspectors to report these conditions as "Deficient" when performing an inspection for a buyer or seller, if they can be reasonably determined.

These conditions may not have violated building codes or common practices at the time of the construction of the home, or they may have been "grandfathered" because they were present prior to the adoption of codes prohibiting such conditions. While the TREC Standards of Practice do not require inspectors to perform a code compliance inspection, TREC considers the potential for injury or property loss from the hazards addressed in the Standards of Practice to be significant enough to warrant this notice.

Contract forms developed by TREC for use by its real estate licensees also inform the buyer of the right to have the home inspected and can provide an option clause permitting the buyer to terminate the contract within a specified time. Neither the Standards of Practice nor the TREC contract forms requires a seller to remedy conditions revealed by an inspection. The decision to correct a hazard or any deficiency identified in an inspection report is left to the parties to the contract for the sale or purchase of the home.

INFORMATION INCLUDED UNDER "ADDITIONAL INFORMATION PROVIDED BY INSPECTOR", OR PROVIDED AS AN ATTACHMENT WITH THE STANDARD FORM, IS NOT REQUIRED BY THE COMMISSION AND MAY CONTAIN CONTRACTUAL TERMS BETWEEN THE INSPECTOR AND YOU, AS THE CLIENT. THE COMMISSION DOES NOT REGULATE CONTRACTUAL TERMS BETWEEN PARTIES. IF YOU DO NOT UNDERSTAND THE EFFECT OF ANY CONTRACTUAL TERM CONTAINED IN THIS SECTION OR ANY ATTACHMENTS, CONSULT AN ATTORNEY.

ADDITIONAL INFORMATION PROVIDED BY INSPECTOR

IMPORTANT NOTICE: Prior to reading through your inspection report it is very important that you review the notices below so that you are fully aware of each of the notices prior to completing your negotiations and/or transaction on the property. If you have any questions whatsoever do not hesitate to contact me directly prior to proceeding.

RESTRICTED USE OF THIS REPORT: The use of this report is specifically restricted to the Client named within this report and is not transferable or usable by any other parties. This Copyrighted report is not valid without the signed inspection agreement.

REPORT PHOTOGRAPHS: Photographs inserted within this report are shown for the sole purpose of providing you a visual perspective on a particular concern. Photographs are selected at my discretion and do not represent the totality of repair needs.

REPORT DEFICIENCY COMMENTS: All bulleted comments within the report represent a deficiency. Please note that the deficiency comments listed within this report are not a certification that all deficiencies within a particular system and/or component have been fully diagnosed and/or reported and this inspection report does not provide or guarantee of future performance of any system or component within the house nor that errors of omission with the inspection and/or report do not exist.

FURTHER EVALUATION BY SPECIALIST: It is extremely important that you contact appropriate specialist where a system or component is noted to have a Deficiencies listed. Specialist will have the specific knowledge and certifications to perform a much deeper level of evaluation on a given system or component. Naturally you should anticipate that a specialist evaluation may determine additional and possibly significant repair needs exist that would not be observed and/or report in the course of a general real estate inspection. **It is your duty to seek these evaluations prior to completing your negotiations and/or transaction!**

Acceptance of all conditions, advisories and terms listed above are made by you upon acceptance of and reliance upon this inspection report.

Property Inspection Conditions

Inspection Time In: **9:00 am**

Time Out: **12:00 pm**

Property was: **Vacant / new construction**

Weather Conditions During Inspection: **Sunny**

Outside temperature during inspection: **60's to 70's Degrees**

Parties present at inspection: **No other parties present during inspection.**

I=Inspected	NI=Not Inspected	NP=Not Present	D=Deficient
I	NI	NP	D

I. STRUCTURAL SYSTEMS

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A. Foundations

Type of Foundation(s): Slab on Ground

Comments:

Foundation

Note: In my professional opinion, the foundation appeared to be providing adequate support for this dwelling based on limited visual observations at time of inspection. I did not observe any apparent evidence that would indicate the presence of significant deflections in the foundation and/or there were no notable functional problems resulting from foundation movement. This opinion is not applicable to future changing conditions. No accurate prediction can be made of future foundation movement. Opinions are based on observations made without the use of sophisticated testing procedures. Therefore, the opinion expressed is one of apparent condition and not absolute fact. This inspection report *is not* an engineering report, and should not be considered as one. If desired, a further in depth foundation evaluation can be performed by a Professional Engineer.

Note: Very Important. Expansive soils that are common to this region can adversely affect the performance of the foundation and/or may lead to foundation failure. Variation in the moisture content produces a disproportionate degree of swelling and shrinkage of the soil which can result in differential movement. Changes in the moisture content can be caused by any of the following: poor drainage away from the foundation, standing water at one or more points around the foundation, leaking plumbing lines, non-uniform watering of plants and lawns around the structure, excessive vegetation, plants and trees adjacent to the foundation as well as insufficient watering during dry weather conditions. It is important that you maintain proper drainage around the structure in such a way that water runs away from the building and off the site. When the foundation is located on expansive clay soils, watering of the soil \ landscape around the foundation can be an effective way of maintaining moisture stability and preventing volume changes. Proper drainage coupled with watering of the soil \ landscape around the foundation in a systematic and scheduled manner should aid in maintaining constant moisture content.

- Although condition does not negatively impact foundation performance, portions of parge-coating on exposed foundation wall is cracked, loose or has not been applied at more than one location. Find examples at the right side elevation. Cosmetic repairs recommend.



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B. Grading and Drainage

Grading & Drainage

Note: Care should be taken to maintain the adequate finish grade and/or proper yard drainage. The grade away from the foundation should fall a minimum of six inches (6") within the first ten feet (10') to encourage run-off away from the foundation. Improper drainage and/or pooling of water near foundation may adversely impact its performance.

Gutter & Downspout System

Note: I recommend gutter leaf guard installation to prevent clogged gutters.

- The guttering does not appear to have sufficient slope to properly drain and/or notice that water is pooling in the gutter located near the back left corner house 2nd story roof.



- The gutter down-spout located near front right corner house should be extended to divert run-off away from the plumbing system grinding pump control valve box.



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C . Roof Covering Materials

Type(s) of Roof Covering: Composition

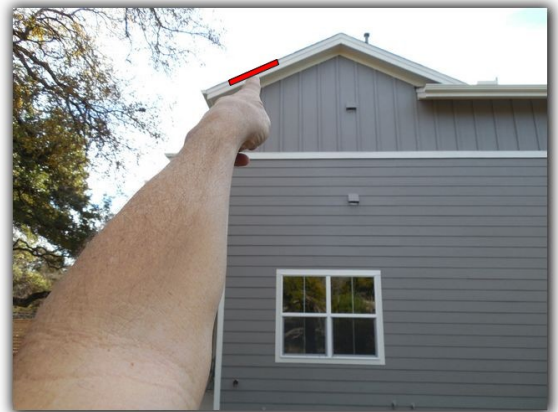
Viewed From: Walked on roof

Comments:

Roof Covering Material

Note: The roof observations were made from roof surface. This inspector does not remove or alter any shingles for inspection purposes as it may cause roofing material damage. This inspector does not check shingle fastener patterns, underlayments, etc. as it may also cause roofing material damage. The inspection was based on visual appearances, signs of leakage or wear, etc.

- Drip edge flashing is missing and/or has not been installed at more than one location. Find some examples at the left & back elevations. Although condition does not impact performance, portions of drip edge flashing has also not been painted. See some examples of missing flashing.



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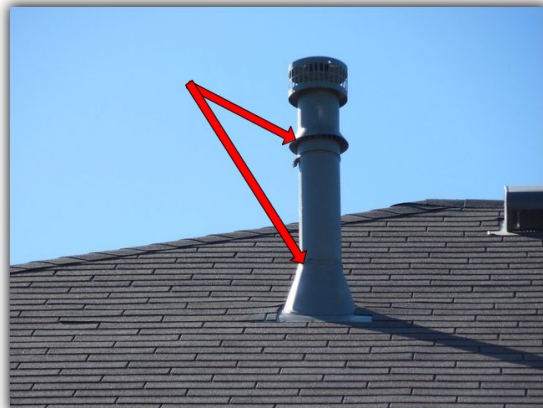
- Drip edge flashing is loose and/or is lifting shingles at the back elevation 1st story roof starter-course.



- Due to improper placement, more than one exposed shingle fastener head was observed. Find some examples at the back elevation 1st story roof starter-course.



- The storm collar is not properly positioned over the roof jack at the roof level furnace flue pipe. The storm collar needs to be properly positioned and sealed to help prevent water intrusion within the roof structure.



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D . Roof Structures and Attics

Viewed From: Decked Space Only

Approximate Average Depth of Insulation: 12"+ & Radiant Barrier

Approximate Average Thickness of Vertical Insulation: N/A

Insulation Type: Loose Filled

Description of Roof Structure: Rafter Assembly

Comments:

Roof Structure & Attic

Note: The attic was inspected from floored surfaces or safe footing only. Insulation is not disturbed to find a walkway surface. Several situations limited the observations of the attic space including low clearances, insulation, stored items, mechanical systems, ducts, etc. For safety reasons some attic spaces were not viewed.

- Although impact may be negligible, spray on radiant barrier at the under-side of roof decking is absent at more than one visible attic location.



Attic Insulation

- Insulation batts are not supported by netting at the back left corner house 2nd story closet to prevent the insulation from falling.



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E. Walls (Interior and Exterior)

Interior Walls

Note: As the home purchaser, it is your responsibility to bring any cosmetic defects to the attention of the home builder during your final walk-through and have them addressed to your liking before closing.

Exterior Walls

- Loose siding panel was observed at the left side elevation wall.



- I did not observe the installation of "Z" flashing above (2 of 3) of the back downstairs living room windows, which helps to prevent potential moisture intrusion..



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F. Ceilings and Floors

Floors

- Portion of floor decking beneath carpeting creaks at various upstairs locations.

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I	NI	NP	D	I	NI	NP	D	I	NI	NP	D	I	NI	NP	D

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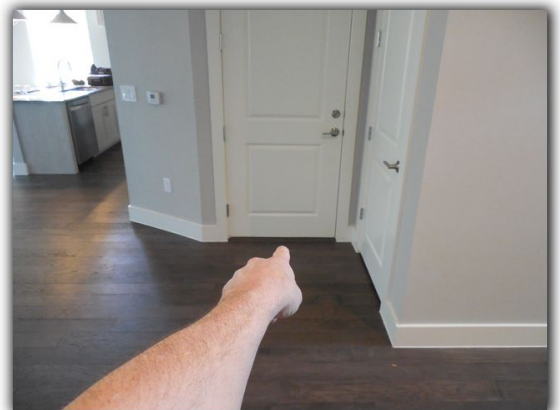
G . Doors (Interior and Exterior)

Pedestrian Doors

- The master bedroom entry door is cracked at hardware installation.



- Doors located at 1st story attic as well as garage pedestrian entries do not seal at threshold plates. Doors must be weather-tight to prevent moisture, draft or insects from entering home.



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H . Windows

Windows

Note: Windows located in shower and/or tub surrounds such as the upstairs walk-through bath will be subject to long term water exposure issues due to location and methods of construction. Ensure windows stay well sealed at all times to prevent water penetration of wall assemblies.



- Tempered glass (special safety glass) is lacking in window located at the steps landing and/or notice that the tempered glass pane has been improperly installed at wrong location or window above.



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I . Stairways (Interior and Exterior)

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J . Fireplaces and Chimneys

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K . Porches, Balconies, Decks, and Carports

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☐ ☒ ☒ ☐ L . Other

II . ELECTRICAL SYSTEMS

☒ ☐ ☐ ☐ A . Service Entrance and Panels

Main Panel

Box Rating and/or Main Disconnect Rating: 125 amps

Box Location: Exterior right wall

Cabinet Manufacturer: Square D



Sub Panel

Box Location: Garage

Cabinet Manufacturer: Square D



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B. Branch Circuits, Connected Devices, and Fixtures

Type of Wiring: Copper

Comments:

Distribution Wiring

- All loads in downstairs hall bath, which include the (outlets, lights & exhaust fan) were found to be connected to the outlet GFCI circuit. This is a non-standard application. I recommend further investigation by qualified electrician.

Receptacle Outlets

- Not all of the 110 volt electrical outlets located in the laundry room are (GFCI) ground fault circuit protected as required by current standards.



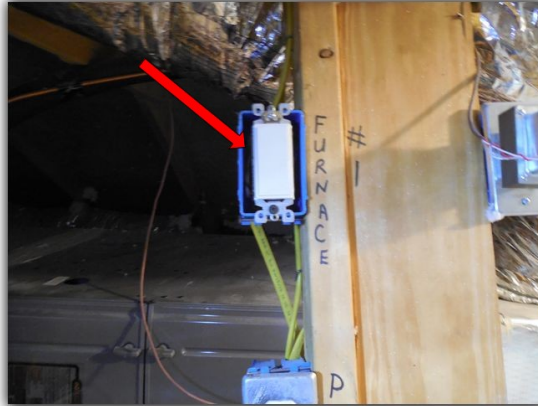
- One or more outlet was observed to have the hot and neutral conductors reversed. Find example at upstairs bedroom #3.



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Switches

- Switch to HVAC equipment in attic is missing its cover-plate.



III. HEATING, VENTILATION AND AIR CONDITIONING SYSTEMS

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A. Heating Equipment

Type of System(s): 2 Central / Location Attic

Energy Source: Gas

Comments:

Heating Equipment

Note: Heating system operation verified.

- The catwalk and service platforms are inadequate and/or missing at (1 of 2) HVAC systems located in attic. Catwalks should be provided in attics containing mechanical equipment to help provide safe access to the equipment. The catwalk passageway should be clear, unobstructed and large enough to allow removal of the equipment. The catwalk passageway shall have continuous solid flooring with a minimum thickness of ¾" plywood or 1" OSB and not less than 24 inches wide. A service platform of at least 30 inches deep and 30 inches wide should be present along all sides of the mechanical equipment where access is required. The platform flooring should have a minimum thickness of ¾" plywood or 1" OSB.



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B. Cooling Equipment

Type of System(s): 2 Central

Comments:

Cooling Equipment

Note: Temperature differential (Delta-T Degrees) is a fundamental standard test for the proper function of the cooling system. The normal acceptable range is considered approximately between (16° to 22°) degrees F. total difference between the return air and supply air. Unusual conditions such as excessive humidity, low out-door temperature, restricted air flow may indicate abnormal operation even though the equipment is functioning basically as designed and occasionally may indicate normal operation in spite of an equipment malfunction.

Downstairs

Today's Temperature Differential (Delta-T): 21 Degrees

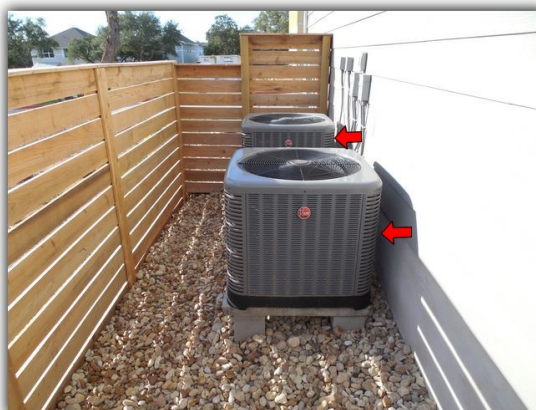
Upstairs

Today's Temperature Differential (Delta-T): 21 Degrees

- The insulation in overflow drain pans located under both systems coil housings should be removed. The insulation could clog the overflow pan drain lines or interfere with the operation of overflow pan shut-off switches leading to moisture damaged within the home.



- The condenser units lack adequate clearances for air circulation. The units should be provided with 12" of clearance from fences, walls or enclosures and 24" between units.



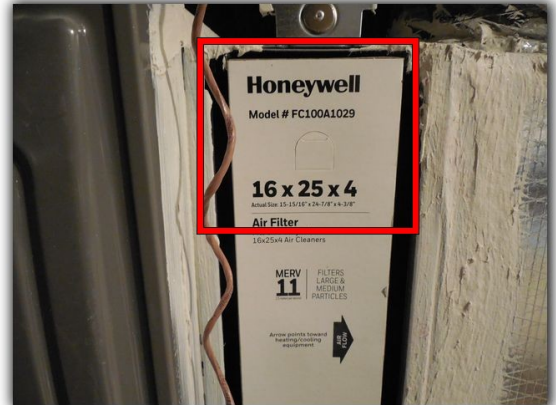
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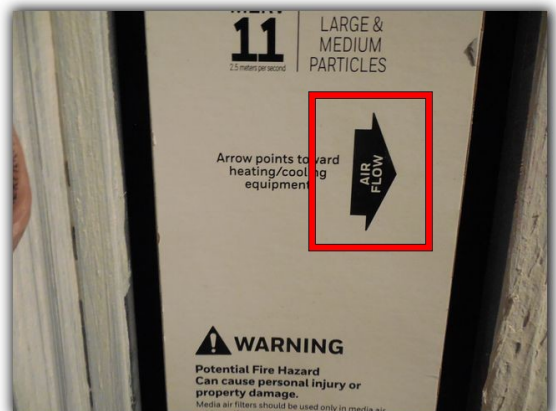
C . Duct Systems, Chases, and Vents

Return Air Filters

Note: The return air filters are located at equipment in attic.



- The HVAC system return air filtes are improperly installed and/or lack proper directional air flow.



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IV . PLUMBING SYSTEMS

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A . Plumbing Supply, Distribution Systems and Fixtures

Location of water meter: Front right

Location of main water supply valve: Water meter

Static water pressure reading: 52 psi

Comments:

Water Supply System

Note: There is no meter movement evident with all plumbing fixtures off. This is a normal condition suggesting no leaks in water supply lines at the time of inspection. The public water supply has an in-line pressure regulator.



Exterior Faucets/Fixtures

- The exterior front elevation wall water hose bibb does not have a back-flow or anti-siphon device (Vacuum Breakers) in place. The exposed copper water supply line at hose bib also lacks freeze protection.



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Bathtubs

- The hot water discharge temperature at the master bathtub is significantly lower than that of other plumbing fixtures in home. Cause and remedy should be further investigated and corrected as necessary.



Showers

- The shower enclosure is not water tight and leaks to the adjacent area at the downstairs hall bath.



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I	NI	NP	D	I	NI	NP	D	I	NI	NP	D	I	NI	NP	D

- The master shower floor is inadequately sloped towards the drain and/or notice that water pools on master shower floor well after the plumbing fixture has been turned off.



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B. Drains, Wastes, and Vents

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C. Water Heating Equipment

Energy Source: Gas

Capacity: 50 Gallons *Location:* **Interior Closet** *Water Temperature:* 137 Degrees

Comments:

Water Heater

- The temperature setting is too high or water temperature is above 125°, which increases the potential for scalding especially with infants and/or children. This condition is a “Recognized Safety Hazard”.



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☐ ☒ ☒ ☐ D . Hydro-Massage Therapy Equipment

☒ ☐ ☐ ☐ E . Gas Distribution Systems

☐ ☒ ☒ ☐ F . Other

V . APPLIANCES

☒ ☐ ☐ ☐ A . Dishwashers

☒ ☐ ☐ ☐ B . Food Waste Disposers

☒ ☐ ☐ ☐ C . Range Hood and Exhaust Systems

☒ ☐ ☐ ☒ D . Ranges, Cooktops, and Ovens

Cook-top

- There is no visible gas shut-off valve in place for the cook-top. There should be a gas shut-off valve within 6'.



☒ ☐ ☐ ☐ E . Microwave Ovens

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☒ ☐ ☐ ☐ F . Mechanical Exhaust Vents and Bathroom Heaters

☒ ☐ ☐ ☒ G . Garage Door Operators

Overhead Garage Door Opener

- The garage door opener did not automatically reverse under reasonable resistance to closing. There is a serious risk of injury, particularly to children, under this condition. Improvement may be as simple as adjusting the sensitivity control on the operator. For safety reasons, cause and remedy should be further investigated and corrected as necessary.



- For safety reasons, manual locking mechanisms should be removed or disabled on overhead garage doors that are equipped with an automatic garage door opener to prevent inadvertent actuation of the opener while lock is engaged and subsequent overhead garage door damage.



☒ ☐ ☐ ☐ H . Dryer Exhaust Systems

☐ ☒ ☒ ☐ I . Other

REPORT SUMMARY

The Report Summary is intended to follow the flow of the main body of the Property Inspection Report and **IS NOT** a suggested priority repair list. The order of repair priority is left up to the sole discretion of the client and your Inspector will not be able to assist you specifying order of importance. Further, this summary contains only those items identified as "Deficient". There may be other items listed in the full body of the Property Inspection Report that could be important to you and you may consider adding to your repair request if and when applicable.

YOU SHOULD READ AND UNDERSTAND THE ENTIRE PROPERTY INSPECTION REPORT PRIOR TO COMPLETING ANY REPAIR REQUEST. This report contains technical information, if you do not understand or are unclear about some of the information contained in the body of this report; please call the office to arrange for a verbal consultation with your inspector prior to the expiration of any time limitations such as option or warranty periods.

FOUNDATIONS

- Although condition does not negatively impact foundation performance, portions of parge-coating on exposed foundation wall is cracked, loose or has not been applied at more than one location. Find examples at the right side elevation. Cosmetic repairs recommend.

GRADING AND DRAINAGE

- The guttering does not appear to have sufficient slope to properly drain and/or notice that water is pooling in the gutter located near the back left corner house 2nd story roof.
- The gutter down-spout located near front right corner house should be extended to divert run-off away from the plumbing system grinding pump control valve box.

ROOF COVERING MATERIALS

- Drip edge flashing is missing and/or has not been installed at more than one location. Find some examples at the left & back elevations. Although condition does not impact performance, portions of drip edge flashing has also not been painted. See some examples of missing flashing.
- Drip edge flashing is loose and/or is lifting shingles at the back elevation 1st story roof starter-course.
- Due to improper placement, more than one exposed shingle fastener head was observed. Find some examples at the back elevation 1st story roof starter-course.
- The storm collar is not properly positioned over the roof jack at the roof level furnace flue pipe. The storm collar needs to be properly positioned and sealed to help prevent water intrusion within the roof structure.

ROOF STRUCTURES AND ATTICS

- Although impact may be negligible, spray on radiant barrier at the under-side of roof decking is absent at more than one visible attic location.
- Insulation batts are not supported by netting at the back left corner house 2nd story closet to prevent the insulation from falling.

WALLS (INTERIOR AND EXTERIOR)

- Loose siding panel was observed at the left side elevation wall.
- I did not observe the installation of "Z" flashing above (2 of 3) of the back downstairs living room windows, which helps to prevent potential moisture intrusion..

CEILINGS AND FLOORS

- Portion of floor decking beneath carpeting creaks at various upstairs locations.

DOORS (INTERIOR AND EXTERIOR)

- The master bedroom entry door is cracked at hardware installation.
- Doors located at 1st story attic as well as garage pedestrian entries do not seal at threshold plates. Doors must be weather-tight to prevent moisture, draft or insects from entering home.

WINDOWS

- Tempered glass (special safety glass) is lacking in window located at the steps landing and/or notice that the tempered glass pane has been improperly installed at wrong location or window above.

BRANCH CIRCUITS, CONNECTED DEVICES, AND FIXTURES

- All loads in downstairs hall bath, which include the (outlets, lights & exhaust fan) were found to be connected to the outlet GFCI circuit. This is a non-standard application. I recommend further investigation by qualified electrician.
- Not all of the 110 volt electrical outlets located in the laundry room are (GFCI) ground fault circuit protected as required by current standards.
- One or more outlet was observed to have the hot and neutral conductors reversed. Find example at upstairs bedroom #3.
- Switch to HVAC equipment in attic is missing its cover-plate.

HEATING EQUIPMENT

- The catwalk and service platforms are inadequate and/or missing at (1 of 2) HVAC systems located in attic. Catwalks should be provided in attics containing mechanical equipment to help provide safe access to the equipment. The catwalk passageway should be clear, unobstructed and large enough to allow removal of the equipment. The catwalk passageway shall have continuous solid flooring with a minimum thickness of ¾" plywood or 1" OSB and not less than 24 inches wide. A service platform of at least 30 inches deep and 30 inches wide should be present along all sides of the mechanical equipment where access is required. The platform flooring should have a minimum thickness of ¾" plywood or 1" OSB.

COOLING EQUIPMENT

- The insulation in overflow drain pans located under both systems coil housings should be removed. The insulation could clog the overflow pan drain lines or interfere with the operation of overflow pan shut-off switches leading to moisture damaged within the home.
- The condenser units lack adequate clearances for air circulation. The units should be provided with 12" of clearance from fences, walls or enclosures and 24" between units.

DUCT SYSTEMS, CHASES, AND VENTS

- The HVAC system return air filtes are improperly installed and/or lack proper directional air flow.

PLUMBING SUPPLY, DISTRIBUTION SYSTEMS AND FIXTURES

- The exterior front elevation wall water hose bibb does not have a back-flow or anti-siphon device (Vacuum Breakers) in place. The exposed copper water supply line at hose bib also lacks freeze protection.
- The hot water discharge temperature at the master bathtub is significantly lower than that of other plumbing fixtures in home. Cause and remedy should be further investigated and corrected as necessary.
- The shower enclosure is not water tight and leaks to the adjacent area at the downstairs hall bath.
- The master shower floor is inadequately sloped towards the drain and/or notice that water pools on master shower floor well after the plumbing fixture has been turned off.

WATER HEATING EQUIPMENT

- The temperature setting is too high or water temperature is above 125°, which increases the potential for scalding especially with infants and/or children. This condition is a “Recognized Safety Hazard”.

RANGES, COOKTOPS, AND OVENS

- There is no visible gas shut-off valve in place for the cook-top. There should be a gas shut-off valve within 6'.

GARAGE DOOR OPERATORS

- The garage door opener did not automatically reverse under reasonable resistance to closing. There is a serious risk of injury, particularly to children, under this condition. Improvement may be as simple as adjusting the sensitivity control on the operator. For safety reasons, cause and remedy should be further investigated and corrected as necessary.
- For safety reasons, manual locking mechanisms should be removed or disabled on overhead garage doors that are equipped with an automatic garage door opener to prevent inadvertent actuation of the opener while lock is engaged and subsequent overhead garage door damage.

TEXAS OFFICIAL WOOD DESTROYING INSECT REPORT

Page 25 of 26

Not DisclosedAustin78727

Inspected Address

City

Zip Code

SCOPE OF INSPECTION

- A. This inspection covers only the multi-family structure, primary dwelling or place of business. Sheds, detached garages, lean-tos, fences, guest houses or any other structure will not be included in this inspection report unless specifically noted in Section 5 of this report.
- B. This inspection is limited to those parts of the structure(s) that are visible and accessible at the time of the inspection. Examples of inaccessible areas include but are not limited to (1) areas concealed by wall coverings, furniture, equipment and stored articles and (2) any portion of the structure in which inspection would necessitate removing or defacing any part of the structure(s) (including the surface appearance of the structure). **Inspection does not cover any condition or damage which was not visible in or on the structure(s) at time of inspection but which may be revealed in the course of repair or replacement work.**
- C. Due to the characteristics and behavior of various wood destroying insects, it may not always be possible to determine the presence of infestation without defacing or removing parts of the structure being inspected. Previous damage to trim, wall surface, etc., is frequently repaired prior to the inspection with putty, spackling, tape or other decorative devices. Damage that has been concealed or repaired may not be visible except by defacing the surface appearance. **The WDI inspecting company cannot guarantee or determine that work performed by a previous pest control company, as indicated by visual evidence of previous treatment, has rendered the pest(s) inactive.**
- D. If visible evidence of active or previous infestation of listed wood destroying insects is reported, it should be assumed that some degree of damage is present.
- E. If visible evidence is reported, it does not imply that damage should be repaired or replaced. Inspectors of the inspection company usually are not engineers or builders qualified to give an opinion regarding the degree of structural damage. Evaluation of damage and any corrective action should be performed by a qualified expert.
- F. **THIS IS NOT A STRUCTURAL DAMAGE REPORT OR A WARRANTY AS TO THE ABSENCE OF WOOD DESTROYING INSECTS.**
- G. If termite treatment (including pesticides, baits or other methods) has been recommended, the treating company must provide a diagram of the structure(s) inspected and proposed for treatment, label of pesticides to be used and complete details of warranty (if any). At a minimum, the warranty must specify which areas of the structure(s) are covered by warranty, renewal options and approval by a certified applicator in the termite category. Information regarding treatment and any warranties should be provided by the party contracting for such services to any prospective buyers of the property. The inspecting company has no duty to provide such information to any person other than the contracting party.
- H. There are a variety of termite control options offered by pest control companies. These options will vary in cost, efficacy, areas treated, warranties, treatment techniques and renewal options.
- I. There are some specific guidelines as to when it is appropriate for corrective treatment to be recommended. Corrective treatment may only be recommended if (1) there is visible evidence of an active infestation in or on the structure, (2) there is visible evidence of a previous infestation with no evidence of a prior treatment.
- J. If treatment is recommended based solely on the presence of conducive conditions, a preventive treatment or correction of conducive conditions may be recommended. The buyer and seller should be aware that there may be a variety of different strategies to correct the conducive condition(s). These corrective measures can vary greatly in cost and effectiveness and may or may not require the services of a licensed pest control operator. There may be instances where the inspector will recommend correction of the conducive conditions by either mechanical alteration or cultural changes. Mechanical alteration may be in some instances the most economical method to correct conducive conditions. If this inspection report recommends any type of treatment and you have any questions about this, you may contact the inspector involved, another licensed pest control operator for a second opinion, and/or the Structural Pest Control Service of the Texas Department of Agriculture.

1A. Scott Leppin Real Estate Inspections Inc. 1B. 9437 TDA 0568990

Name of Inspection Company

SPCS Business License Number

1C. 12411 Painted Bunting Dr. Austin TX 78726 (512) 335-0609

Address of Inspection Company

City

State

Zip

Telephone No.

1D. Scott Leppin

Name of Inspector (Please Print)

1E. Certified Applicator
Technician☒
☐

(check one)

2. N/A 3. Friday, December 13, 2019

Case Number (VA/FHA/Other)

Inspection Date

4A. New Final or 1 Year Inspection Seller ☐ Agent ☐ Buyer ☒ Management Co. ☐ Other ☐

Name of Person Purchasing Inspection

4B. Unknown

Owner/Seller

4C. REPORT FORWARDED TO: Title Company or Mortgagee ☐ Purchaser of Service ☐ Seller ☐ Agent ☒ Buyer ☒
(Under the Structural Pest Control regulations only the purchaser of the service is required to receive a copy)

The structure(s) listed below were inspected in accordance with the official inspection procedures adopted by the Texas Structural Pest Control Service. This report is made subject to the conditions listed under the Scope of Inspection. A diagram must be attached including all structures inspected.

5. Main Residence only

List structure(s) inspected that may include residence, detached garages and other structures on the property. (Refer to Part A, Scope of Inspection)

6A. Were any areas of the property obstructed or inaccessible? Yes ☒ No ☐
(Refer to Part B & C, Scope of Inspection) If "Yes" specify in 6B.

6B. The obstructed or inaccessible areas include but are not limited to the following:

Attic <input checked="" type="checkbox"/>	Insulated area of attic <input checked="" type="checkbox"/>	Plumbing Areas <input checked="" type="checkbox"/>	Planter box abutting structure <input type="checkbox"/>
Deck <input type="checkbox"/>	Sub Floors <input type="checkbox"/>	Slab Joints <input checked="" type="checkbox"/>	Crawl Space <input type="checkbox"/>
Soil Grade Too High <input type="checkbox"/>	Heavy Foliage <input type="checkbox"/>	Eaves <input checked="" type="checkbox"/>	Weepholes <input type="checkbox"/>
Other <input type="checkbox"/>	Specify: _		

7A. Conditions conducive to wood destroying insect infestation? Yes ☐ No ☒
(Refer to Part J, Scope of Inspection) If "Yes" specify in 7B.

7B. Conducive Conditions include but are not limited to:

Debris under or around structure (K) <input type="checkbox"/>	Wood to Ground Contact (G) <input type="checkbox"/>	Formboards left in place (I) <input type="checkbox"/>	Excessive Moisture (J) <input type="checkbox"/>
Planter box abutting structure (O) <input type="checkbox"/>	Footing too low or soil line too high (L) <input type="checkbox"/>	Wood Rot (M) <input type="checkbox"/>	Heavy Foliage (N) <input type="checkbox"/>
Insufficient ventilation (T) <input type="checkbox"/>	Wood Pile in Contact with Structure (Q) <input type="checkbox"/>	Wooden Fence in Contact with the Structure (R) <input type="checkbox"/>	
Other (C) <input type="checkbox"/> Specify: _____			

8. Inspection Reveals Visible Evidence in or on the structure:

	Active Infestation		Previous Infestation		Previous Treatment	
8A. Subterranean Termites	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>
8B. Drywood Termites	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>
8C. Formosan Termites	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>
8D. Carpenter Ants	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>
8E. Other Wood Destroying Insects	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>

Specify: _____

8F. Explanation of signs of previous treatment (including pesticides, baits, existing treatment stickers or other methods) identified: None found

8G. Visible evidence of: None found has been observed in the following areas: NA

If there is visible evidence of active or previous infestation, it must be noted. The type of insect(s) must be listed on the first blank and all identified infested areas of the property inspected must be noted in the second blank. (Refer to Part D, E & F, Scope of Inspection)

The conditions conducive to insect infestation reported in 7A & 7B:

9. Will be or has been mechanically corrected by inspecting company: Yes ☐ No ☒

If "Yes", specify corrections: _____

9A. Corrective treatment recommended for active infestation or evidence of previous infestation with no prior treatment

as identified in Section 8. (Refer to Part G, H and I, Scope of Inspection)

Yes ☐ No ☒

9B. A preventive treatment and/or correction of conducive conditions as identified in 7A & 7B is recommended as follows:

Yes ☐ No ☒

Specify reason: _____

Refer to Scope of Inspection Part J

10A. This company has treated or is treating the structure for the following wood destroying insects: NO

If treating for subterranean termites, the treatment was: Partial ☐ Spot ☐ Bait ☐ Other ☐

If treating for drywood termites or related insets, the treatment was: Full ☐ Limited ☐

10B. _____

Date of Treatment by Inspecting Company

Common Name of Insect

Name of Pesticide, Bait or Other Method

This company has a contract or warranty in effect for control of the following wood destroying insects:

Yes ☐

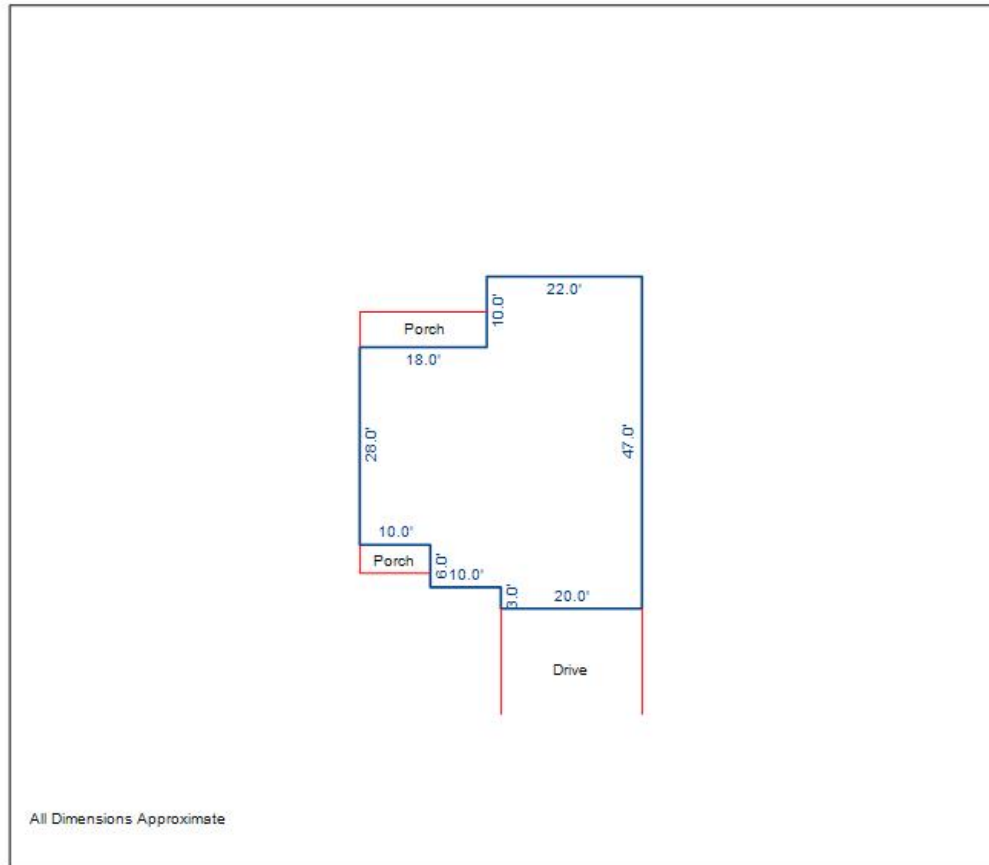
No ☐

List Insects: _____

If "Yes", copy(ies) of warranty and treatment diagram must be attached.

Diagram of Structure(s) Inspected

The inspector must draw a diagram including approximate perimeter measurements and indicate active or previous infestation and type of insect by using the following codes: E-Evidence of infestation; A-Active; P-Previous; D-Drywood Termites; S-Subterranean Termites; F-Formosan Termites; C-Conducive Conditions; B-Wood Boring Beetles; H-Carpenter Ants; Other(s) - Specify _____



Additional Comments _____

TEXAS OFFICIAL WOOD DESTROYING INSECT REPORT

Page 2 of 2

Neither I nor the company for which I am acting have had, presently have, or contemplate having any interest in the property. I do further state that neither I nor the company which I am acting is associated in any way with any party to the transaction.

Signatures:

11A. Scott Leppin - Digitally Signed

Inspector

Approved:

11B. Scott Leppin 0560547

Certified Applicator and Certified Applicator License Number

Notice of Inspection Was Posted At or Near

12A. Electric Breaker Box ☐

Water Heater Closet ☐

Bath Trap Access ☐

Beneath the Kitchen Sink ☒

12B. Date Posted 01/12/2020

Date

Statement of Purchaser

I have received the original or a legible copy of this form. I have read and understand any recommendations made. I have also read and understand the "Scope of Inspection." I understand that my inspector may provide additional information as an addendum to this report.

If additional information is attached, list number of pages: _____

Signature of Purchaser of Property or their Designee

Date

